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Sep 11th, 2025

123 Example Ave., Altoona, PA 16601

Home Inspection Report

PREPARED FOR:

John Citizen

INSPECTED BY:

Brenton Horwood / H & H Property Inspections, LLC





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Inspection Details

INSPECTOR 1

Brenton Horwood

H & H Property Inspections, LLC

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16602

Phone(814) 482-0312

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CLIENT

John Citizen

Phone

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ADDITIONAL INFO

📅 Inspection date	Sep 11th, 2025
• Others Present	Buyer
• Property Occupied	Vacant
• Building Type	Single Family
• Weather	Sunny
• Temperature	72 °F
• Year Built	1990
• Water Source	City
• Sewage/Disposal	City

HOME INSPECTION REPORT

Definitions

- 
Inspected
 The Item or component was inspected and no material defects were observed. Cosmetic issues may have been observed.
- 
Maintenance
 The Item or component requires regular maintenance for continued optimal performance.
- 
Recommendation
 The Item or component appears operational, but inspector recommends action be taken for conditions that are beyond cosmetic.
- 
Requires Attention
 The Item or component is not functioning as intended requires maintenance or repair. Recommend repair or further evaluation by a qualified contractor.
- 
Safety
 The item or component appears to be unsafe and should be corrected as soon as possible a qualified contractor.

NOTE: All definitions listed above refer to the property or item listed as inspected on this report at the time of inspection.

Flagged items will show up in summary view.

1. Terms and Conditions

1.1 WHAT THE INSPECTION COVERS

INFORMATION:

- The inspection is a visual, non-invasive assessment of the accessible areas and components of the property at the time of the inspection.
- The findings reflect the professional judgment of the inspector based on observed conditions during the inspection.
- The report is intended solely for the client named in the agreement and should not be relied upon by third parties without written authorization.
- **The client is encouraged to read the full report,** including all observations, limitations, and recommendations, to gain a complete understanding of the property's condition.

1.2 LIMITATIONS AND EXCLUSIONS

INFORMATION:

- This inspection is not a warranty, guarantee, or insurance policy regarding the current or future condition of the property.
- Systems or components that are concealed, inaccessible, or not readily observable are not included in the inspection.
- The inspector is not responsible for latent defects, hidden damage, or issues that arise after the time of inspection.
- Any liability is limited to the amount of the inspection fee paid, and all claims must be submitted in writing within 90 days of the inspection.

1.3 STANDARDS OF PRACTICE

INFORMATION: As required by the InterNACHI Residential Standards of Practice, the inspection includes a visual examination of the following major systems:

Roof:

- Inspect roofing materials, flashings, drainage systems, skylights, chimneys, and roof penetrations.
- Evaluate visible areas from the ground, accessible locations, or walkable surfaces.

Exterior:

- Examine wall coverings, eaves, soffits, fascia, exterior doors and windows.
- Check decks, balconies, stoops, steps, porches, railings, and walkways.
- Assess grading for proper drainage away from the foundation.

Basement, Foundation, Crawlspace and Structure:

-

Look for signs of structural movement, foundation cracks, and moisture intrusion.

- Inspect insulation coverage and framing conditions in crawlspaces or unfinished basements.

Heating:

- Operate permanently installed heating equipment using standard controls.
- Inspect visible distribution components, flues, and safety features (if accessible).

Cooling:

- Operate central air conditioning under suitable weather conditions.
- Evaluate basic operation and airflow.
- Excludes window units or evaporative coolers unless permanently installed.

Plumbing System:

- Inspect main water supply and shut-off valve.
- Check water heater, venting, faucets, fixtures, and drainage.
- Look for leaks, poor drainage, or pressure issues.

Electrical System:

- Open and inspect main panel and subpanels for labeling, conductor types, and safety compliance.
- Test a representative number of lights, switches, and receptacles.

Attic, Insulation and Ventilation:

- Access attic to review insulation levels, ventilation features, and structural elements like rafters/trusses.

Interior components:

- Inspect ceilings, floors, walls, doors, windows, stairways, and guardrails.
- Test a sample of components for function and safety.

Fireplaces and Solid Fuel Appliances:

- Inspect firebox, damper, and visible chimney sections.
- Evaluate safety clearances and general condition of solid-fuel appliances.

All inspections are performed according to the InterNACHI Standards of Practice.

For the full SOP, visit: <https://www.nachi.org/sop.htm>

2. Grounds

The inspection of the grounds covers the areas surrounding the home that may affect its condition or safety. This includes grading and drainage patterns, driveways, walkways, steps, retaining walls, and vegetation near the structure. The goal is to identify issues that could contribute to water intrusion, structural concerns, or safety hazards. Observations are based on visible conditions at the time of the inspection, and some factors may vary with weather or seasonal changes.

2.1 DRIVEWAY

DESCRIPTION: Asphalt

MEDIA:



COMMENTS:

 Inspected

Normal

The driveway appears to be in normal condition with no visible cracks, potholes, or uneven surfaces. Drainage seems effective, with no signs of water pooling or erosion. The surface material is intact and well-maintained, providing a safe and functional access route to the property.

2.2 WALKS

DESCRIPTION: Concrete

COMMENTS:

 Requires Attention

Uneven with cracks

The walkway exhibits uneven surfaces and visible cracks, which may pose a tripping hazard. It is recommended to have a licensed contractor assess the severity of the damage and perform necessary repairs to ensure safety and prevent further deterioration. Regular maintenance checks are advised to address any emerging issues promptly.



Concrete is cracking



Uneven pathway

2.3 STEPS/STOOPS

DESCRIPTION: Wood, Composite deckboards

MEDIA:



COMMENTS:



Gap dimension exceeds limits

During the inspection, it was observed that there is an excessive gap under the bottom rail of the stairs. This could pose a safety risk, especially for small children or pets. It is recommended to have a qualified contractor assess and correct the gap to ensure proper safety and compliance with local building codes.



Gap dimension should
not exceed 6"



Missing handrail(s)

During inspection, it was observed that the steps/stoops are missing handrails. This is a safety concern, as handrails provide essential support and stability. It's recommended to install handrails to meet local building codes and enhance safety for all users.



2.4 GRADING/DRAINAGE

DESCRIPTION: Minor slope

MEDIA:



COMMENTS:

☒ Inspected

The general grade appears to be properly sloped away from foundation

2.5 FENCES/RETAINING WALLS

DESCRIPTION: Wood

COMMENTS:

☐ Requires Attention

Retaining wall is leaning.

The retaining wall is observed to be leaning, which could indicate structural instability and potential failure. It is crucial to address this issue promptly. Recommend consulting with a licensed structural engineer to assess the severity of the leaning. Based on their evaluation,

appropriate corrective measures—such as reinforcing the structure or rebuilding sections of the wall—should be taken to ensure the wall's continued functionality and prevent further damage. Regular monitoring of the wall's condition is also advised.



Wall is leaning

3. Roof

The roof inspection includes the visible coverings, flashings, drainage components, and any roof penetrations such as vents or chimneys. The purpose is to evaluate overall condition and identify signs of leaks or damage. Inspection is based on what can be safely accessed and observed at the time of the visit.

3.1 TYPE

DESCRIPTION: Gable

METHOD OF INSPECTION: Ladder at eaves

MATERIAL: Composition shingle

MEDIA:





COMMENTS:

☒ Recommendation

Moss observed

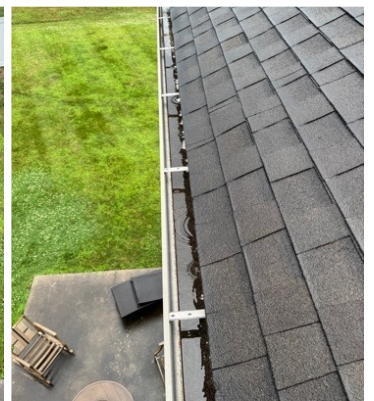
During the inspection, moss was observed on the roof. Moss can retain moisture, potentially leading to roof damage and leaks. It is recommended to have the moss professionally removed and the roof cleaned. Regular maintenance is advised to ensure the roof's longevity.



3.2 GUTTERS

DESCRIPTION: Aluminum

MEDIA:



COMMENTS:

Inspected Recommendation

The aluminum gutters are securely fastened and in good condition, with no visible defects or issues noted during the inspection. It is recommended to maintain regular cleaning to prevent debris buildup and ensure proper drainage. Periodically inspect for any changes or potential blockages to sustain optimal functionality.

3.3 DOWNSPOUTS/LEADERS/EXTENSIONS

DESCRIPTION: Aluminum

MEDIA:



COMMENTS:

Requires Attention

One downspout does not terminate effectively. it is recommended that the downspout extends completely to the storm water hook up.

One downspout on the property does not terminate effectively and currently fails to direct water completely to the storm water hookup. This could lead to improper drainage and potential water damage. It is recommended to extend the downspout fully to the designated storm water connection. Consider consulting a professional to ensure proper installation and to prevent any future drainage issues. Regular maintenance should also be scheduled to keep the drainage system functioning efficiently.



3.4 FLASHING

DESCRIPTION: Aluminum

MEDIA:



Roof (Drip Edge) Flashing



Counter flashin

COMMENTS:

☒ Inspected

No visable defects were observed at the time of inspection.

3.5 VALLEYS

DESCRIPTION: Asphalt shingle

MEDIA:



Roof Valley

COMMENTS:

☒ Inspected

Defects not observed at the time of inspection

During the inspection of the grounds' valleys, no defects were observed at the time. It is advised to maintain regular monitoring to ensure the area remains free from issues. Homeowners should address any debris accumulation promptly and schedule periodic professional inspections to uphold the integrity of the property.

3.6 PLUMBING VENTS

DESCRIPTION: PVC

MEDIA:



COMMENTS:

☒ Recommendation

No defects observed around the roof penetration, flashing or boot

During the inspection of the roof plumbing vents, no defects were observed around the roof penetration, flashing, or boot. The components appear to be in good condition and effectively sealed. No immediate maintenance or repairs are needed. Regular annual inspections

are recommended to ensure continued integrity and to address any future wear and tear promptly.

4. Exterior

The exterior inspection focuses on the materials and features that protect the structure from the elements. This includes siding, trim, doors, windows, and exterior surfaces, as well as decks, porches, and balconies. Observations are limited to visible conditions and do not include hidden or inaccessible areas.

4.1 TYPE

DESCRIPTION: Vinyl siding, Brick

TRIM: Vinyl, Aluminum

MEDIA:



COMMENTS:

☒ Recommendation

Normal wear and tear.

The property's exterior features a brick facade with vinyl siding on the sides and rear. Some superficial defects and minor wear and tear are present. It's recommended to clean and inspect these areas regularly to prevent further deterioration. Consider addressing any caulking or sealing needs to protect against moisture intrusion. Regular maintenance will help preserve the appearance and longevity of the materials.

4.2 SOFFITS/FASCIA

DESCRIPTION: Vinyl, Aluminum

MEDIA:



Soffit



Fascia



Soffit



Fascia

COMMENTS:

☒ Inspected

No defects

The property features vinyl soffit and aluminum fascia, which are in good condition with no defects observed during the inspection. However, there is a buildup of dirt that needs attention. It is recommended to clean the soffit and fascia to maintain their appearance and prevent any potential damage from prolonged dirt exposure. Regular cleaning will help preserve the materials and ensure they remain in optimal condition.

4.3 EXTERIOR DOORS

DESCRIPTION: Metal, Wood

MEDIA:



Metal external door



Wooden Patio door

COMMENTS:

☒ Recommendation

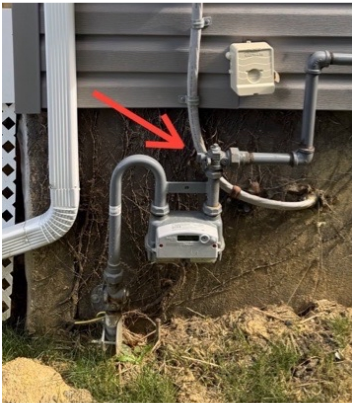
Paint peeling

Upon inspecting the exterior doors, it was observed that the paint is peeling. This condition can potentially expose the underlying material to moisture and weather-related damage, which may lead to degradation over time. It is recommended to sand and repaint the doors to protect them and maintain their appearance. Consider using a high-quality, weather-resistant exterior paint for optimal durability and protection against future peeling.

4.4 GAS METER

DESCRIPTION: Side of house

MEDIA:



Main fuel shut-off

5. Basement

The basement or crawlspace inspection covers visible structural components, foundation walls, ventilation, insulation, and signs of moisture intrusion. Conditions can change with weather and seasons, and observations reflect what was visible on the day of the inspection.

6. Structure

The structure inspection focuses on the visible foundation, framing, and support components of the home. The goal is to identify signs of settlement, movement, or other conditions that could affect stability or safety. Observations are limited to accessible areas at the time of the inspection.

7. Heating/Cooling

The heating and cooling inspection reviews the visible equipment, controls, and distribution systems. The purpose is to assess basic operation, age, and general condition of the systems. Efficiency testing or internal component evaluations are outside the scope of a standard inspection.

7.1 THERMOSTAT(S)

DESCRIPTION: Programmable

LOCATION: Living room

MEDIA:



COMMENTS:

☒ Inspected

Tested and functioning

The heating and cooling thermostat was tested during the inspection and found to be functioning properly. It responded well to user inputs and adjusted the system as expected, indicating that it is in good working condition at the time of inspection.

7.2 HEATING SYSTEM

DESCRIPTION: Forced air

MANUFACTURER: Airlease

FUEL TYPE: Natural gas

MEDIA:



Fuel shut-off (RED) Fuel
drip-leg (GREEN)

7.3 DISTRIBUTION

DESCRIPTION: Metal duct, Insulflex duct

MEDIA:



7.4 CONTROLS

DESCRIPTION: Service disconnect switch

MEDIA:



COMMENTS:

- ☒ Inspected
- ☐ Recommendation

Tested operable

During the inspection, the heating and cooling controls were tested and found to be operable. The system responded effectively to adjustments, indicating proper functionality at the time of inspection. Routine maintenance is recommended to ensure continued performance.

7.5 COOLING SYSTEM

DESCRIPTION: Central A/C

MANUFACTURER: Rheem

FUEL TYPE: 220 VAC

MEDIA:



7.6 EXTERIOR UNIT

DESCRIPTION: Pad mounted

MEDIA:



7.7 BLOWER FAN/FILTERS

DESCRIPTION: Direct drive, Disposable filter

MEDIA:



Blower assembly



Filter housing and filter

COMMENTS:

☒ Recommendation

Recommend changing filter on a regular basis

8. Plumbing

The plumbing inspection includes visible supply and drain piping, fixtures, water heating equipment, and basic functional checks. The goal is to identify leaks, outdated materials, or other conditions that may affect performance. Underground piping or components not visible at the time of inspection are not included.

8.1 SERVICE LINE

DESCRIPTION: Copper

MEDIA:



Copper service

COMMENTS:

☒ Inspected

Copper main service line

The main service line is made of copper, a durable and reliable material commonly used in plumbing for its excellent corrosion resistance and long lifespan. The copper line appears to be in good condition, with no visible signs of leaks, corrosion, or damage at the time of inspection. Regular maintenance and monitoring are advised to ensure its continued performance and longevity.

8.2 MAIN WATER SHUTOFF

DESCRIPTION: Basement

MEDIA:



Main water shut-off

COMMENTS:

☒ Inspected ☐ Recommendation

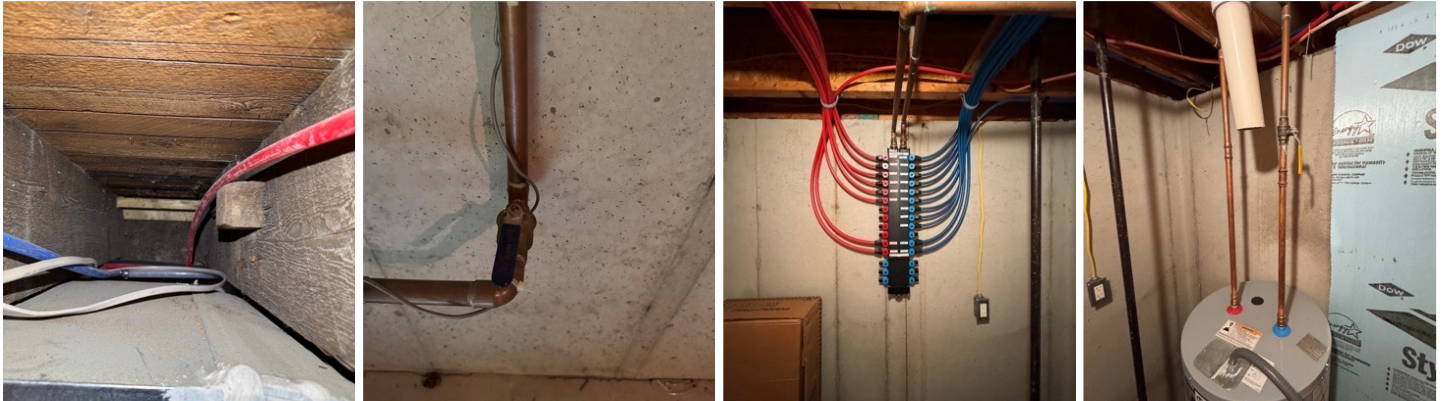
Main Shut-Off

The main water shutoff is located next to the water meter in the basement. It is recommended to operate the shutoff valve at least twice a year to prevent it from sticking during emergency situations. Regular operation will help ensure that the valve remains functional and can be easily accessed when necessary. If resistance or difficulty in operation is encountered, consider having a professional plumber inspect and service the valve to maintain optimal performance.

8.3 WATER LINES

DESCRIPTION: Copper, PEX

MEDIA:



COMMENTS:

☒ Inspected

Copper and pex observed

During the inspection, both copper and PEX water lines were observed. Copper pipes are known for their durability and resistance to corrosion, while PEX offers flexibility and ease of installation. Both materials appear to be properly installed, providing reliable water distribution throughout the property.

8.4 DRAIN PIPES

DESCRIPTION: PVC

MEDIA:



8.5 FUEL SERVICE LINES

DESCRIPTION: Cast iron

MEDIA:



COMMENTS:

☒ Inspected

Cast iron main fuel service line.

The main fuel service line is composed of cast iron and was inspected with no defects noted at the time of inspection. The material appears to be in good condition, showing no signs of corrosion or leaks. Regular monitoring is advised to ensure continued integrity and safety.

8.6 WATER HEATER

DESCRIPTION: Tank

MANUFACTURER: A.O. Smith

CAPACITY: 40 gal

FUEL: Electric

LOCATION: Basement

MEDIA:



Electric Service



Temperature Pressure
Relief (TPR) valve



COMMENTS:

☒ Inspected

No defects observed

During the inspection of the water heater, no defects were observed. The unit appears to be in good working condition with no signs of leaks, corrosion, or unusual noises. All connections and valves are secure, and the temperature and pressure relief valve is functional. Overall, the water heater is performing as expected.

9. Electrical

The electrical inspection covers the visible service entrance, panels, wiring, outlets, and fixtures. I check for safety hazards, proper installation, and signs of wear or damage. The inspection is limited to readily accessible components and does not include destructive testing.

9.1 SERVICE

DESCRIPTION: Aluminum

SERVICE AMPS AND VOLTS: 220 VAC, 150 amps

GROUND: Rod in ground only

MEDIA:



Ground Electrode Con-
ductor (GEC)



Electric Meter



Service Entrance

Electric drop, drip loop
and goose neck

COMMENTS:

☒ Inspected

No defects observed at the time of inspection.

9.2 MAIN PANEL

DESCRIPTION: Eaton

CAPACITY: 150 amps

MEDIA:



Circuit breakers



Main Disconnect



Main electrical panel

COMMENTS:

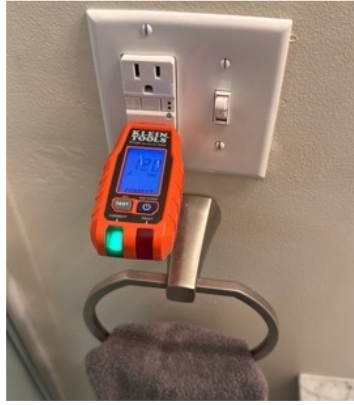
☒ Inspected ☐ Recommendation

Upon inspection of the electrical main panel, no defects or issues were identified. All components appear to be in good working condition, and wiring is neatly organized. It is recommended to have routine maintenance checks performed by a qualified electrician every 3-5 years to ensure ongoing safety and functionality.

9.3 GFCI/AFCI

DESCRIPTION: At GFCI receptacle(s) only, Kitchen, Bathroom(s), Exterior, Basement, Garage, AFCI present

MEDIA:



COMMENTS:

■ Inspected ■ Recommendation

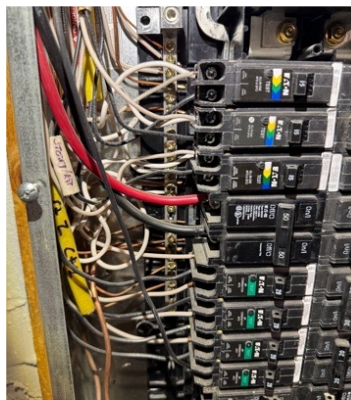
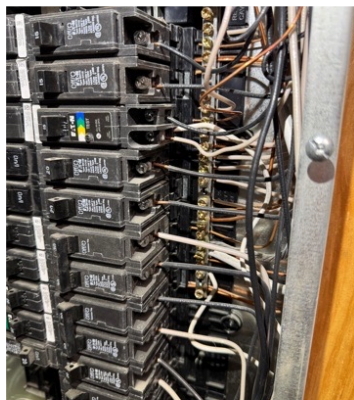
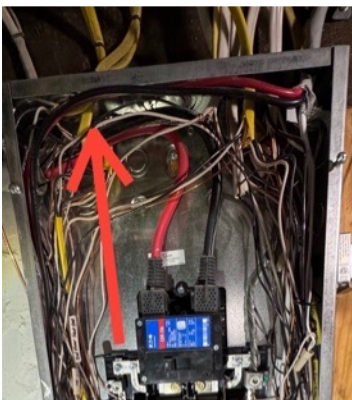
Gfci circuits located in correct locations. All gfci circuits were tested at the time of inspection

During the inspection, all GFCI circuits were found to be installed in appropriate locations as required. Each circuit was tested and confirmed to be functioning properly at the time of inspection, ensuring enhanced safety in relevant areas.

9.4 BRANCH CIRCUITS

DESCRIPTION: Copper

MEDIA:



Branch circuits

COMMENTS:

☒ Inspected

Branch circuitry identified at timenof inspection was copper romex

During the inspection, it was observed that the branch circuitry is composed of copper Romex wiring. Copper Romex is a common and reliable choice in residential electrical systems, known for its good conductivity and durability. No immediate issues were identified with the current wiring setup. All visible wiring appeared to be in good condition at the time of inspection.

10. Attic

The attic inspection includes visible framing, insulation, ventilation, and signs of moisture or pest activity. Access is limited to areas that can be safely entered without moving stored items or damaging finishes.

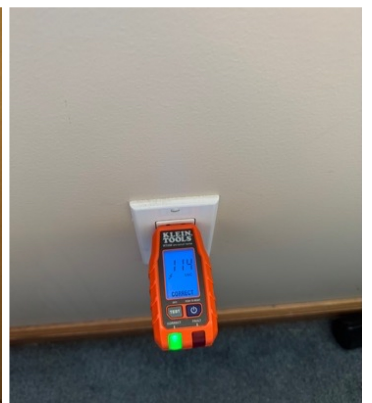
11. Interior

The interior inspection covers the general condition of walls, ceilings, floors, windows, doors, and stairways. I look for signs of moisture intrusion, settlement, safety hazards, and general maintenance concerns. The inspection is visual only and does not include furniture, stored items, or areas not readily accessible.

11.1 ELECTRICAL

DESCRIPTION: 110 volts

MEDIA:





COMMENTS:

☒ Inspected

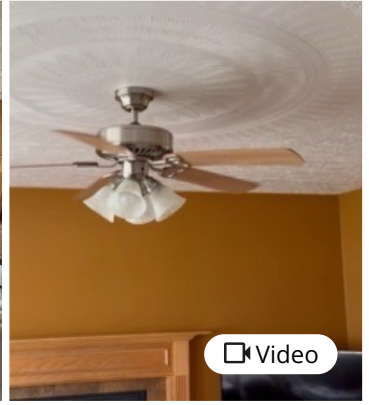
Of the receptacles tested, all were functioning properly

All tested receptacles were found to be functioning properly, indicating that the interior electrical system is in good working condition at the time of the inspection. This includes proper grounding and secure connections. Regular maintenance is recommended to ensure continued performance.

11.2 CEILING

DESCRIPTION: Paint

MEDIA:



COMMENTS:

☒ Inspected

No visible defects were observed at the time of inspection.

11.3 WALLS

DESCRIPTION: Paint

MEDIA:





COMMENTS:

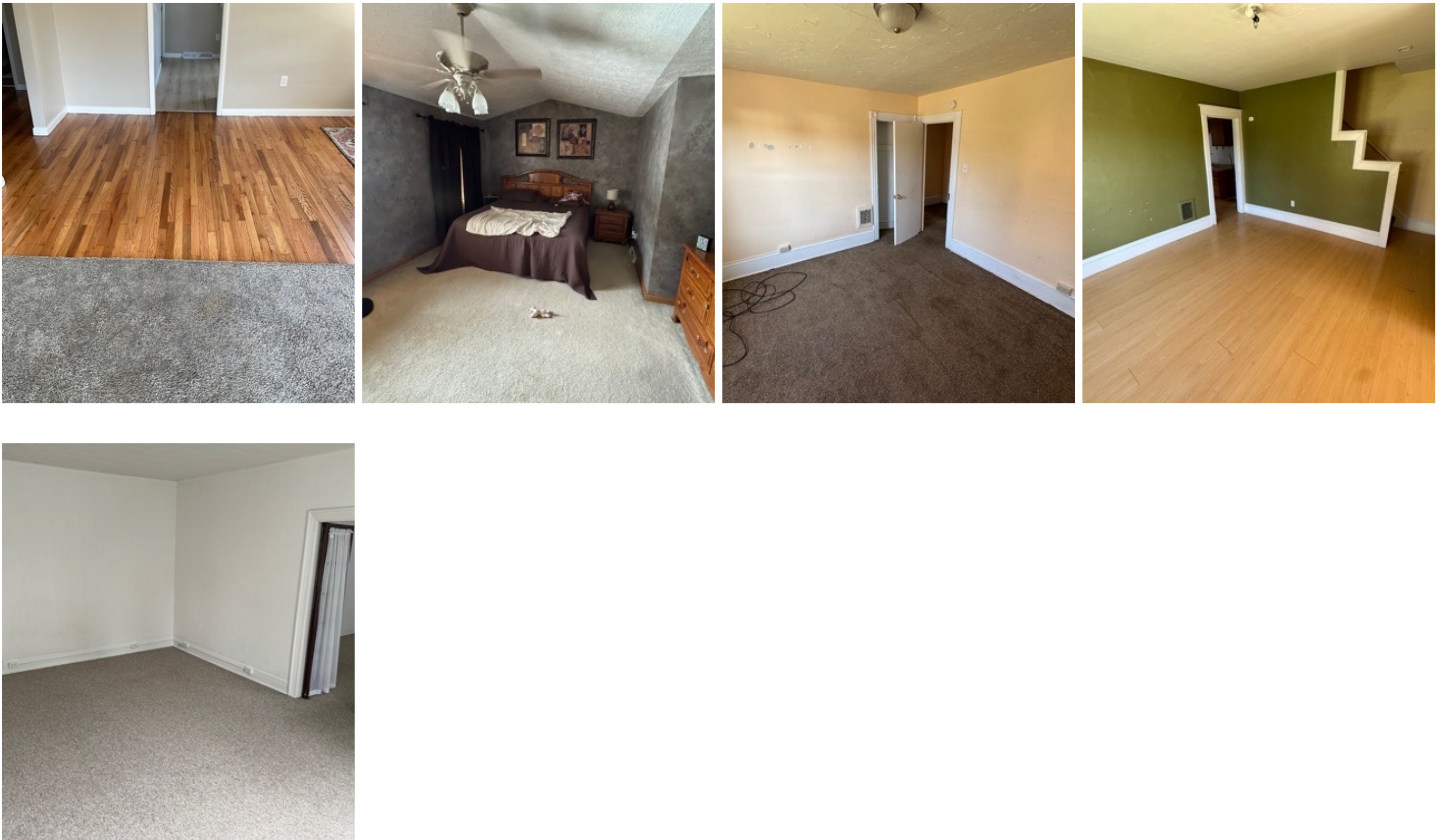
☒ Inspected

No visible defects were observed at the time of inspection.

11.4 FLOOR

DESCRIPTION: Carpet, Hardwood, Laminate

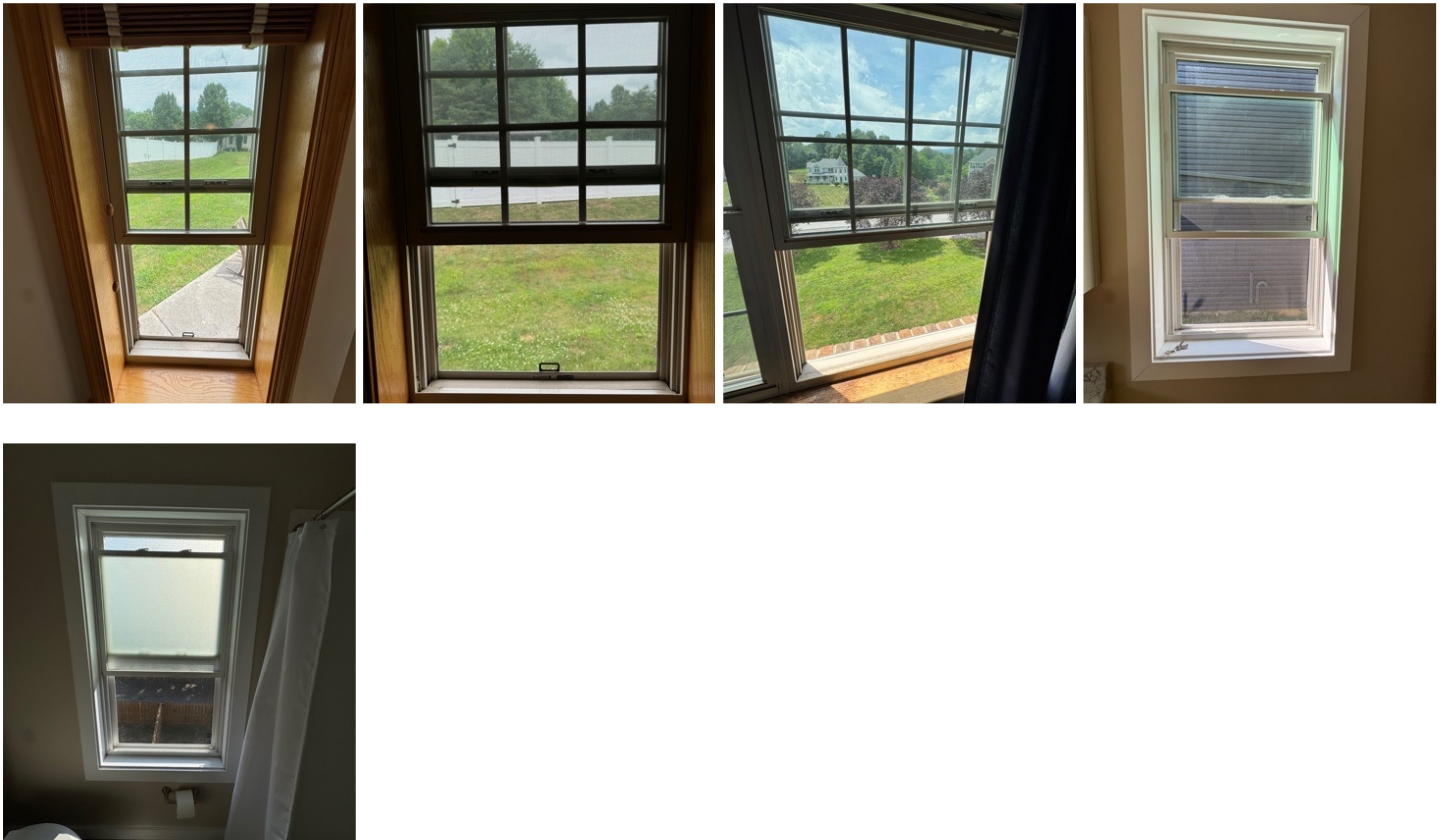
MEDIA:



11.5 WINDOWS

DESCRIPTION: Vinyl, Double hung

MEDIA:



COMMENTS:

 Requires Attention

Window seal damaged

The window seal appears to be damaged, which may lead to drafts, moisture intrusion, and reduced energy efficiency. To prevent further deterioration and potential water damage, it is recommended to have the seal repaired or replaced by a professional. This will help ensure the longevity and performance of the window. Regular maintenance and prompt attention to such issues can prevent increased utility costs and additional repairs.



Hazing

Hazing

 Inspected

Of the inspected windows, all operated and locked properly

All inspected windows were found to be in good working condition, with all units operating and locking properly during the inspection.

12. Kitchen

The kitchen inspection includes the visible condition and basic operation of built-in appliances, cabinetry, countertops, sinks, and plumbing connections. I also check for signs of leaks, damage, or safety concerns. The inspection does not include testing appliance performance beyond normal operation.

12.1 ELECTRICAL

DESCRIPTION: 110 volts, GFCI

MEDIA:



COMMENTS:

 Inspected  Recommendation

Gfci circuits present and tested operable at time of inspection

GFCI circuits were present in the kitchen and were tested at the time of inspection. They were found to be operable and functioning as intended, providing necessary protection against electrical shock in wet areas.

12.2 COUNTERTOPS

DESCRIPTION: Granite

MEDIA:



COMMENTS:

☒ Inspected

No visible defects were observed at the time of inspection.

12.3 CABINETS

DESCRIPTION: Wood

MEDIA:



COMMENTS:

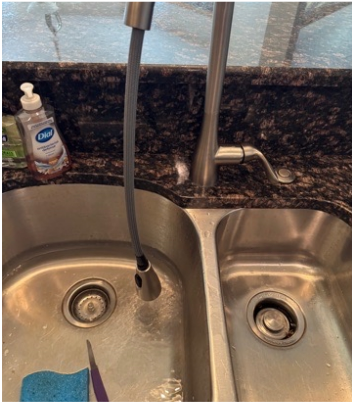
☒ Inspected

No visible defects were observed at the time of inspection.

12.4 SINK

DESCRIPTION: Double

MEDIA:



COMMENTS:

☒ Inspected

No defects observed

Kitchen sink is in good condition with no defects observed.

12.5 PLUMBING/FIXTURES

DESCRIPTION: PVC

MEDIA:



COMMENTS:

☒ Inspected

No leaks observed at time of inspection

During the inspection, no leaks were observed in the kitchen plumbing or fixtures. All components, including the sink, faucet, and visible pipes, appeared to be in good working condition at the time of assessment. Future routine inspections are encouraged to ensure continued integrity.

12.6 DISPOSAL

DESCRIPTION: Badger

COMMENTS:

☒ Maintenance

Plastic wrapper making noise inside garbage disposal

During inspection, a plastic wrapper was noticed making noise inside the garbage disposal. It is recommended to turn off the disposal, disconnect power, and carefully remove the obstruction to prevent damage. Regularly check and clear any debris to maintain optimal functionality.



12.7 DISHWASHER

DESCRIPTION: Frigidaire

MEDIA:



COMMENTS:

☒ Inspected

Ran cycle at time of inspection

12.8 RANGE/OVEN

DESCRIPTION: Frigidaire

FUEL SOURCE: Electric

MEDIA:



COMMENTS:

☒ Inspected

Appeared functional at the time of the inspection

12.9 REFRIGERATOR

DESCRIPTION: Samsung

MEDIA:



COMMENTS:

☒ Inspected

Appeared functional at the time of the inspection

13. Bathroom

The bathroom inspection covers sinks, tubs, showers, toilets, ventilation, and related plumbing. I check for leaks, water pressure, drainage, and general condition of finishes. Observations are based on visible areas only and do not include concealed plumbing or waterproofing systems.

13.1 ELECTRICAL

DESCRIPTION: 110 volts, GFCI

MEDIA:



COMMENTS:

☒ Inspected ☐ Recommendation

Gfci circuit present and tested

The bathrooms are equipped with a GFCI (Ground Fault Circuit Interrupter) outlet, which was tested and found to be in proper working condition at the time of inspection. This safety feature helps prevent electrical shock by quickly cutting off power in the event of a ground fault.

13.2 COUNTER/CABINET

DESCRIPTION: Quartz

MEDIA:



COMMENTS:

 Inspected

Counter and vanity is secure

The bathroom counter and vanity are installed securely and properly affixed to the wall. The installation is stable and shows no signs of movement or instability. All components appear in good condition, with no visible damage or defects noted at the time of inspection.

13.3 SINK/BASIN

DESCRIPTION: Single

MEDIA:



COMMENTS:

 Requires Attention

Stopper not functional

The bathroom sink stopper is not functional, potentially leading to drainage issues and inconvenience. It is recommended to have a qualified plumber inspect and repair or replace the stopper mechanism to ensure proper operation. This will enhance usability and prevent possible water retention problems.



13.4 FAUCETS/TRAPS

DESCRIPTION: PVC

MEDIA:



P-trap

COMMENTS:

☒ Inspected

Fixture(s) was operated and appeared functional at the time of inspection

13.5 TOILETS

DESCRIPTION: American Standard

MEDIA:



COMMENTS:

☒ Inspected ☐ Recommendation

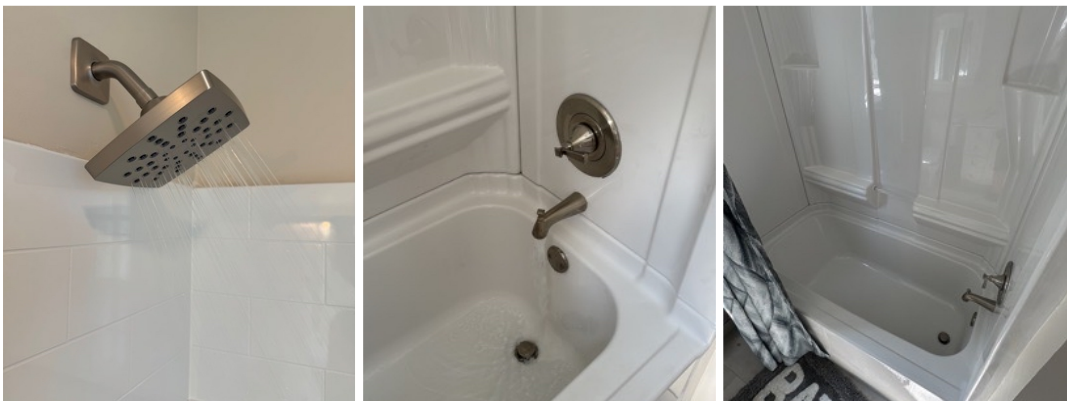
Toilet is functional and secure

The toilet in the bathroom was inspected and found to be both functional and securely installed. No leaks or structural issues were observed. Regular maintenance, such as checking for leaks and ensuring the components are in good condition, is recommended to maintain optimal performance.

13.6 TUB/SHOWER/SURROUND

DESCRIPTION: Porcelain tub, Fiberglass surround

MEDIA:



COMMENTS:

☐ Recommendation ☒ Inspected

Shower and bath - no defects observed

The shower and bath are in good working condition with no leaks observed during testing. Regular maintenance is recommended to ensure long-term functionality. Consider periodic checks for water quality and caulking integrity to prevent potential future issues.

14. Laundry

The laundry inspection includes the visible plumbing, electrical connections, venting, and drainage related to laundry equipment. Appliances themselves are tested only for basic operation, if installed, and observations are limited to what is accessible at the time of the inspection.

15. Garage

The garage inspection reviews the overall condition of the structure, walls, ceiling, floor, doors, and door openers if installed. I also look for fire safety features, electrical components, and potential safety concerns. The inspection is limited to readily accessible areas.

Summary

HOME INSPECTION REPORT

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read *the complete report*.



Requires Attention

The Item or component is not functioning as intended requires maintenance or repair. Recommend repair or further evaluation by a qualified contractor.



Safety

The item or component appears to be unsafe and should be corrected as soon as possible a qualified contractor.

2. Grounds

2.2 WALKS

COMMENTS:

 Requires Attention

Uneven with cracks

The walkway exhibits uneven surfaces and visible cracks, which may pose a tripping hazard. It is recommended to have a licensed contractor assess the severity of the damage and perform necessary repairs to ensure safety and prevent further deterioration. Regular maintenance checks are advised to address any emerging issues promptly.



Concrete is cracking



Uneven pathway

2.3 STEPS/STOOPS

COMMENTS:

Safety

Gap dimension exceeds limits

During the inspection, it was observed that there is an excessive gap under the bottom rail of the stairs. This could pose a safety risk, especially for small children or pets. It is recommended to have a qualified contractor assess and correct the gap to ensure proper safety and compliance with local building codes.



Gap dimension should
not exceed 6"

Safety

Missing handrail(s)

During inspection, it was observed that the steps/stoops are missing handrails. This is a safety concern, as handrails provide essential support and stability. It's recommended to install handrails to meet local building codes and enhance safety for all users.



2.5 FENCES/RETAINING WALLS

COMMENTS:

Requires Attention

Retaining wall is leaning.

The retaining wall is observed to be leaning, which could indicate structural instability and potential failure. It is crucial to address this issue promptly. Recommend consulting with a licensed structural engineer to assess the severity of the leaning. Based on their evaluation, appropriate corrective measures—such as reinforcing the structure or rebuilding sections of the wall—should be taken to ensure the wall's continued functionality and prevent further damage. Regular monitoring of the wall's condition is also advised.



Wall is leaning

3. Roof

3.3 DOWNSPOUTS/LEADERS/EXTENSIONS

COMMENTS:

Requires Attention

One downspout does not terminate effectively. it is recomended that the downspout extends completely to the storm water hook up.

One downspout on the property does not terminate effectively and currently fails to direct water completely to the storm water hookup. This could lead to improper drainage and potential water damage. It is recommended to extend the downspout fully to the designated storm water connection. Consider consulting a professional to ensure proper installation and to prevent any future drainage issues. Regular maintenance should also be scheduled to keep the drainage system functioning efficiently.



11. Interior

11.5 WINDOWS

COMMENTS:

 Requires Attention

Window seal damaged

The window seal appears to be damaged, which may lead to drafts, moisture intrusion, and reduced energy efficiency. To prevent further deterioration and potential water damage, it is recommended to have the seal repaired or replaced by a professional. This will help ensure the longevity and performance of the window. Regular maintenance and prompt attention to such issues can prevent increased utility costs and additional repairs.



Hazing



Hazing

13. Bathroom

13.3 SINK/BASIN

COMMENTS:

 Requires Attention**Stopper not functional**

The bathroom sink stopper is not functional, potentially leading to drainage issues and inconvenience. It is recommended to have a qualified plumber inspect and repair or replace the stopper mechanism to ensure proper operation. This will enhance usability and prevent possible water retention problems.

